

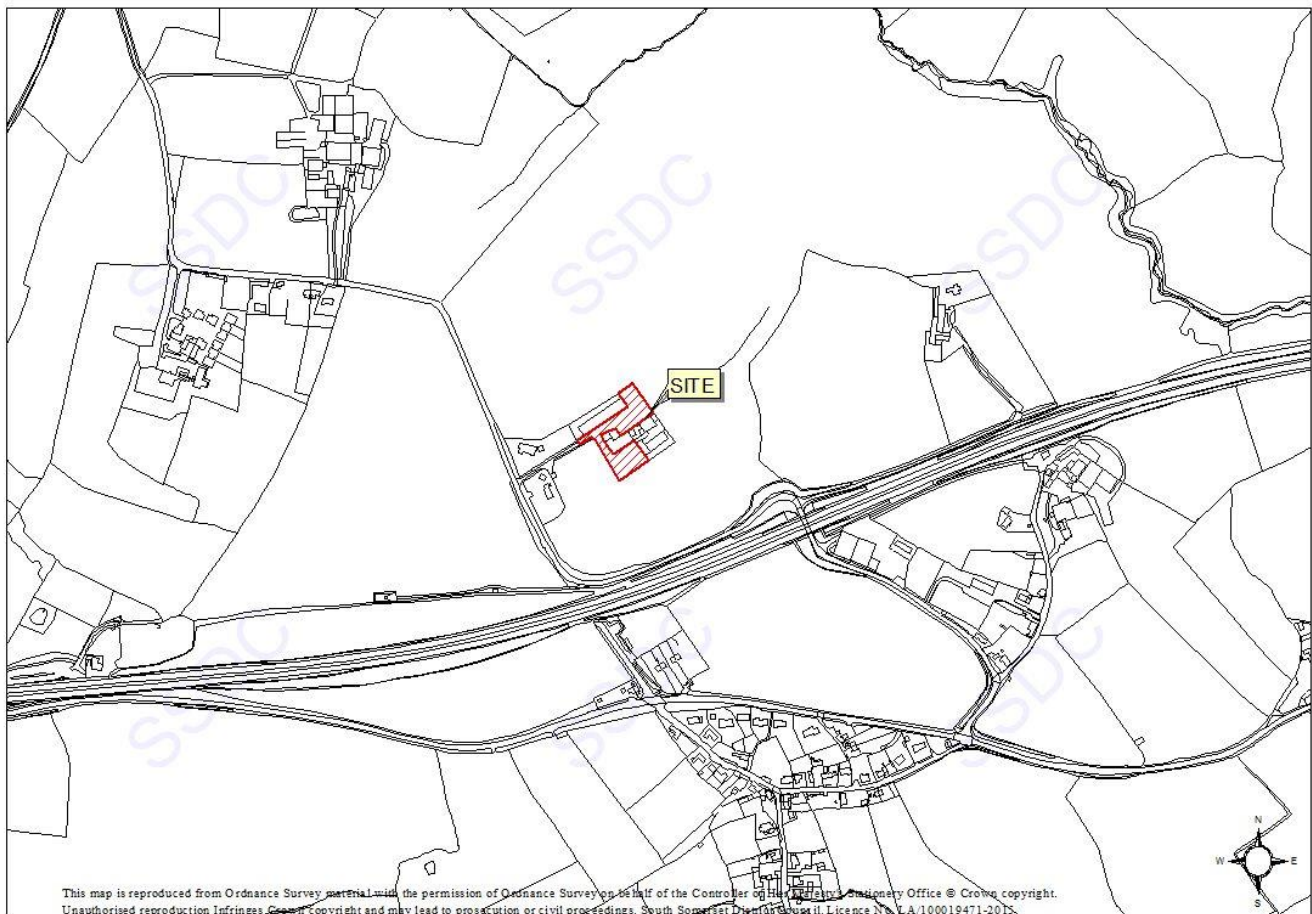
Officer Report On Planning Application: 17/00561/COU

Proposal:	Change of use of redundant agricultural buildings to B1 (Business), B2 (General industrial) and B8 (Storage or distribution).
Site Address:	Warehouse And Premises High Winds Higher Holton
Parish:	Holton
BLACKMOOR VALE Ward (SSDC Member)	Cllr William Wallace
Recommending Case Officer:	Lee Walton Tel: (01935) 462324 Email: lee.walton@southsomerset.gov.uk
Target date:	13th April 2017
Applicant:	Mr Laurence Wadman
Agent: (no agent if blank)	Mr John Shaw 8 Alexanders Close Meare Glastonbury BA6 9HP
Application Type:	Other Change Of Use

REASON FOR REFERRAL

This application is referred to the committee at the request of the Ward Member with the agreement of the Area Chairman to enable the local concerns to be fully debated.

SITE DESCRIPTION AND PROPOSAL





The site is located in the countryside off Elliscombe Lane, Holton. The site forms agricultural buildings and yards. Several units have previously (15/03372/COU) had change of use to B1, B2 and B8 use. Mature trees at the southwest and southeast boundaries help screen the buildings. On either side of the entrance to the site that is outside the applicant's ownership are 2 single storey dwellings.

The proposal seeks permission for a change of use to B1 (business), B2 (General Industrial) and B8 (storage and distribution) that extends the mixed agricultural/ business. The buildings on site extend to 3895 square metres of floor space. 1395 square metres was permitted as business (B1, B2 and B8 Use Class) in 2015 (15/03372/COU). The proposal seeks a further 1133 square metres.

HISTORY

15/03372/COU - Change of use of redundant buildings to B1, B2 and B8, Approved.

11/03255/FUL - Installation of a range of 200 photo-voltaic cells on roof of barn for provision of electricity to farm, Approved.

98/00069/FUL - The erection of a barn for the storage of hay and straw - Approved.

932413 - Erection of an agricultural building comprising corn drying barn and cattle shed, Approved

POLICY

Section 38(6) of the Planning and Compulsory Purchase Act (2004), and Paragraphs 2, 11, 12, and 14 of the NPPF state that applications are to be determined in accordance with the development plan unless material considerations indicate otherwise.

For the purposes of determining current applications the local planning authority considers that the adopted development plan comprises the policies of the South Somerset Local Plan 2006 2028 (adopted March 2015).

Policies of the South Somerset Local Plan (2006-2028)

SD1 - Sustainable Development
SS1 - Settlement Strategy
SS2 - Development in Rural Settlements
EP2 - Office Development
EP4 - Expansion of existing businesses in the countryside
EP5 - Farm Diversification
TA5 - Transport Impact of New Development
TA6 - Parking Standards
EQ2 - General development
EQ4 - Biodiversity

Regard shall also be had to:

National Planning Policy Framework (March 2012):

Chapter 1 - Building a strong competitive economy
Chapter 3 - Supporting a Prosperous Rural Economy
Chapter 4 - Promoting sustainable transport
Chapter 7 - Requiring Good Design
Chapter 8 - Promoting Healthy Communities
Chapter 10 - Climate Change and Flooding
Chapter 11 - Conserving and Enhancing the Natural Environmental

National Planning Policy Guidance

Other Relevant Documents

Somerset County Council Parking Strategy, adopted March 2012 and re-adopted September 2012 following corrections made.

CONSULTATIONS

North Vale Parish Council - has no objections to this planning application.

County Highway Authority - (verbal) indicates following receipt of the additional information submitted by the applicant that they do not considered this represents a significant increase and on this basis would not object to the proposal.

County Rights Of Way - previously recorded the public right of way that runs along the access with no objection subject to the general comments that are made in that officer's response.

REPRESENTATIONS

None

CONSIDERATIONS

The main considerations include the principle of development, character and appearance, highway safety and neighbour amenity.

Principle of Development

Paragraph 28 of the National Planning Policy Framework (NPPF) expects local and neighbourhood

plans to support sustainable growth and expansion of all types of business and enterprise in rural areas, both through conversion of existing buildings and well-designed new buildings and promote the diversification of agricultural and other land-based rural businesses, encouraging rural enterprise, although the NPPF should be read as a whole with sustainable development at its core so that in relation to this countryside location there are further considerations that can limit opportunities for such conversion.

As noted, the site has had recent change of use of part of its site. At the time the scale of intervention was balanced against the site's agricultural use. The current application is not supported by a farm diversification plan (EP5) nor is there an expansion of an existing business in the countryside involved (Policy EP4). Policy EP2 deals with office (B1 Use Class) based development that requires a sequential approach, although, again, is not followed by the applicant. Office buildings tend to be used more intensively than other forms of employment use. The policy supporting texts continues (para.9.22) 'The displacement of office workers out of town centres needs to be limited in the future.' In considering the enlargement of business floor space without the necessary policy supports is considered establishes no 'in principle' support. Accordingly the main considerations include character and appearance, highway safety and neighbour amenity.

Character and Appearance

The application involves a change of use rather than physical external alterations and while these may well be introduced at a later stage, requiring permission, the location is considered relatively well screened while the presence of activities within the site and of vehicles being parked would not necessarily have any adverse harm in terms of the site's character and appearance.

Highway Safety

The County Highway Authority has not raised any objection to the change of use.

Neighbour Amenity

The nearest neighbours are on either side of the access. The level of proposed use is not considered would give rise to any potential greater use made of the access than might be envisaged by the site's continued agricultural use.

RECOMMENDATION

Refuse permission for the following reason

01. The proposal is located in the countryside, removed from nearby sustainable locations and involves a significant cumulative increase, without any special circumstance that would result in an undesirable intensification in an unsustainable location that fosters the need to travel. As such the proposal is contrary to Policy SD1, SS1, SS2, SS3, TA1, EP2, EP4, EP5 and EQ2 of the South Somerset Local Plan 2006-2028 and the policies, as a whole, of the National Planning Policy Framework.

Informatives:

01. In accordance with paragraphs 186 and 187 of the NPPF the council, as local planning authority, takes a positive and proactive approach to development proposals focused on solutions. The council works with applicants/agents in a positive and proactive manner by; offering a pre-application advice service and, as appropriate, updating applications/agents of any issues that may arise in the processing of their application and where possible suggesting solutions. In this case, the applicant/agent did not take the opportunity to enter into pre-application discussions following their previous permission.
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